

AN ORDINANCE OF THE CITY OF LEON VALLEY, TX, CITY COUNCIL GRANTING A SPECIFIC USE PERMIT TO ALLOW CONSTRUCTION AND OPERATION OF A TELECOMMUNICATION ANTENNAE/TOWER IN A B-3 COMMERCIAL ZONING DISTRICT, LOCATED AT 6004 GRISSOM ROAD; AND MORE SPECIFICALLY DESCRIBED AS LOT 4, CB 5955, LEON VALLEY RANCHES SUBDIVISION; PROVIDING A REPEALER CLAUSE; SEVERABILITY CLAUSE; NOTICE OF MEETING; SAVINGS CLAUSE; PROVIDING AN EFFECTIVE DATE.

WHEREAS Chapter 211 of the Vernon's Local Government Code empowers cities to enact zoning regulations and provide for their administration, enforcement, and amendment; and

WHEREAS the City has previously deemed it necessary and desirable to adopt zoning regulations to provide for the orderly development of property within the City, to promote the public health, safety, and welfare of the residents of the City; and

WHEREAS the Leon Valley Code of Ordinances Chapter 15 Zoning constitutes the City's Zoning regulations and requires the property to be zoned in accordance with proper designations as defined by the City; and

WHEREAS the Planning and Zoning Commission of the City of Leon Valley provided adequate notice and held a public hearing in accordance with Chapter 15 of the Leon Valley Code of Ordinances; and

WHEREAS, the City Council, after proper notice and public hearing determined that the request is consistent and compatible with the surrounding zoning and with the City's Future Land Use Plan, and

WHEREAS, the applicant for the Specific Use Permit agreed to provide concealment shields or "stealth panels" around the antennae and related equipment to provide greater concealment of the approved use; and

WHEREAS the City Council of the City of Leon Valley now desires to grant the Specific Use Permit Request, as requested at the subject location.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LEON VALLEY, THAT:

SECTION 1. The request for a Specific Use Permit to Allow Construction and Operation of a Telecommunication Antennae/Tower in a B-3 Commercial Zoning District Located at 6004 Grissom Road; and More Specifically Described as Lot 4, CB 5955, Leon Valley Ranches Subdivision, Leon Valley, Texas, is hereby approved as depicted in the attached Exhibit "A", with the proviso that concealment shields be applied and thereafter maintained around the cellular equipment attached to the tower.

SECTION 2. REPEALER CLAUSE. The provisions of the Ordinance shall be cumulative of all other ordinances or parts of ordinances governing or regulating the same subject matter as that covered herein, provided, however, that all prior ordinances or parts of ordinances inconsistent or in conflict with any of the provisions of this ordinance are hereby expressly repealed to the extent that such inconsistency is apparent by any other ordinance.

SECTION 3. SEVERABILITY CLAUSE. If any provision, section, sentence, clause, or phrase of this ordinance or application of the same to any person or set of circumstances is for any reason held to be unconstitutional, void, invalid, or unenforceable, the validity of the remaining portions of this ordinance or its application to other persons or sets of circumstances shall not be affected thereby, it being the intent of the Leon Valley City Council in adopting, and the Mayor in approving this Ordinance, that no portion thereof or provisions or regulation contained herein shall become inoperative or fall by reason of any unconstitutionality or invalidity of any portion, provision, or regulation.

SECTION 4. SAVINGS CLAUSE. The repeal of any ordinance or part of ordinances effectuated by the enactment of this ordinance shall not be construed as abandoning any action now pending under or by virtue of such ordinance or as discontinuing, abating, modifying, or altering any penalty accruing or to accrue, or as affecting any rights of the City under any section or provisions of any ordinances at the time of passage of this ordinance.

SECTION 5. NOTICE OF MEETING CLAUSE. It is hereby officially found and determined that the meeting at which this Ordinance was passed was open to the public and that public notice of the time, place and purpose of said meeting was given as required by the Open Meetings Act, Chapter 551 of the Texas Government Code.

SECTION 6. EFFECTIVE DATE. This ordinance shall become effective on and after its passage, approval and publication as required by law.

PASSED, ADOPTED AND APPROVED by the City Council of the City of Leon Valley this the 16th day of September, 2025.

APPROVED


CHRIS RILEY
MAYOR

Attest:



SANDRA PASSAILAIGUE, TRMC, City Secretary

Approved as to Form:


ART RODRIGUEZ, City Attorney



GENERAL NOTES

1. ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. SUBCONTRACTORS SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK.
2. ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.
3. UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES, AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
4. THE SUBCONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
5. IF THE SPECIFIED EQUIPMENT CANNOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE SUBCONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION SPACE FOR APPROVAL BY THE CONTRACTOR.
6. THE SUBCONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIALS SUCH AS COAXIAL CABLE AND OTHER ITEMS REMOVED FROM THE EXISTING FACILITY. ANTENNAS REMOVED SHALL BE RETURNED TO THE OWNER'S DESIGNATED LOCATION.
7. THE SUBCONTRACTOR SHALL LEAVE PREMISES IN CLEAN CONDITION.
8. SUBCONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWING MUST BE VERIFIED. SUBCONTRACTOR SHALL NOTIFY THE CONTRACTOR OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL OR PROCEEDING WITH CONSTRUCTION.
9. ALL SAFETY PRECAUTIONS MUST BE TAKEN WHEN WORKING AROUND HIGH LEVELS OF ELECTROMAGNETIC RADIATION. EQUIPMENT SHOULD BE SHUTDOWN PRIOR TO PERFORMING ANY WORK THAT COULD EXPOSE THE WORKERS TO DANGER. PERSONAL RF EXPOSURE MONITORS ARE ADVISED TO BE WORK TO ALERT OF ANY DANGEROUS EXPOSURE LEVELS.

DRIVING DIRECTIONS:

DEPART FROM SAN ANTONIO INTERNATIONAL AIRPORT (9800 AIRPORT BLVD, SAN ANTONIO, TX 78216). HEAD EAST ON DEE HOWARD WAY TOWARD JOHN SAUNDERS RD (0.2 MI). TURN RIGHT ONTO AIRPORT BLVD (0.3 MI). TURN RIGHT ONTO I-410 ACCESS RD/NE INTERSTATE 410 LOOP (0.3 MI). CONTINUE ON I-410 W TO LEON VALLEY. TAKE EXIT 13B FROM I-410 W (9 MI, 8.5 MI). MERGE ONTO TX-16 N/BANDERA RD (0.7 MI). USE THE LEFT LANE TO TURN LEFT ONTO GRISSOM RD (0.5 MI). DESTINATION WILL BE ON THE LEFT.

SATELLITE MAP



EXHIBIT "A"

NEW SITE BUILD

VERIZON LOCATION CODE
5000203022

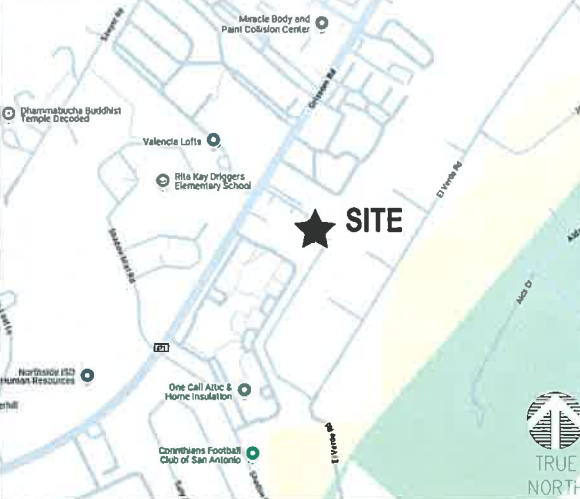
VERIZON SITE NAME
TX-1115 LEON CREEK

SITE ADDRESS
**6004 GRISSOM RD
SAN ANTONIO, TX 78238
BEXAR COUNTY**

BUILDING CODES

- INTERNATIONAL BUILDING CODE, 2021 EDITION AS ADOPTED BY LOCAL JURISDICTION.
- NATIONAL ELECTRICAL CODE, 2020 EDITION AS ADOPTED BY LOCAL JURISDICTION.
- INTERNATIONAL MECHANICAL CODE, 2021 EDITION AS ADOPTED BY LOCAL JURISDICTION.
- INTERNATIONAL ENERGY CONSERVATION CODE, 2021 EDITION AS ADOPTED BY LOCAL JURISDICTION.

VICINITY MAP



APPROVED FOR CONSTRUCTION

PROPERTY OWNER OR REP.	RF
LAND USE PLANNER	NETWORK
T-MOBILE	BACKHAUL
OPERATIONS	CONSTRUCTION MANAGER

SHEET INDEX

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Z-3	COMPOUND SITE PLAN
Z-4	ELEVATION
C-3A	IMPERVIOUS COVER EXHIBIT
C-3B	EXISTING DRAINAGE PLAN
C-3C	PROPOSED / ULTIMATE DRAINAGE PLAN
C-3D	GRADING PLAN

PROJECT SUMMARY:

SITE TYPE

160' MONOPOLE
WITH UNMANNED COMMUNICATION EQUIPMENT
AT BASE OF TOWER.

SITE INFORMATION

LAT: 29.488°
LONG: -98.622139°
ELEV: 797.23' AMSL
JURISDICTION: CITY OF LEON VALLEY
OCCUPANCY: UNMANNED
CONSTRUCTION TYPE: MONOPOLE/NEW SITE BUILD

APPLICANT

APC TOWERS INC
8501 SAN FORTS RD., SUITE 250
RALEIGH, NC 27615
(919) 578-8233

LANDLORD

ARREDONDO GROUP LP
6004 GRISSOM RD
SAN ANTONIO, TX 78238-2227

11"x17" PLOT WILL BE HALF SCALE UNLESS OTHERWISE NOTED

CONTRACTOR SHALL VERIFY ALL PLANS, EXISTING DIMENSIONS, AND CONDITIONS ON THE JOB SITE, AND SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.



CONTRACTORS:

A&E CONTRACTOR

ALLPRO CONSULTING GROUP, INC.
9221 LYNDON B. JOHNSON FREEWAY,
SUITE 204
DALLAS, TX 75243
CONTACT: CHYU ZHANG, P.E.
OFFICE: 972-231-8893
FAX: 866-364-8375

ENGINEERING FIRM

ALLPRO CONSULTING GROUP, INC.
9221 LYNDON B. JOHNSON FREEWAY,
SUITE 204
DALLAS, TX 75243
CONTACT: CHYU ZHANG, P.E.
OFFICE: 972-231-8893
FAX: 866-364-8375

TEXAS ONE CALL

CONTRACTOR TO CALL 48 HOURS BEFORE DIGGING!
PHONE: 800-545-6005
INDEPENDENT LOCATORS TO BE USED ON ALL SITES

DEVELOPMENT PLAN FOR

FOR
(NAME OR DESCRIPTION OF USE)

verizon

600 HIDDEN RIDGE
RYING, TX 76058

**APC
Towers**

8401 SAN FORTS RD
SUITE 250
RALEIGH, NC 27615

ACQ. NO. 25-0729

DRAWN BY: WZ

CHECKED BY: CZ

REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	06/14/25	ZONING DRAWING	WZ



ZONING
PRELIMINARY

5000203022
TX-1115 LEON CREEK

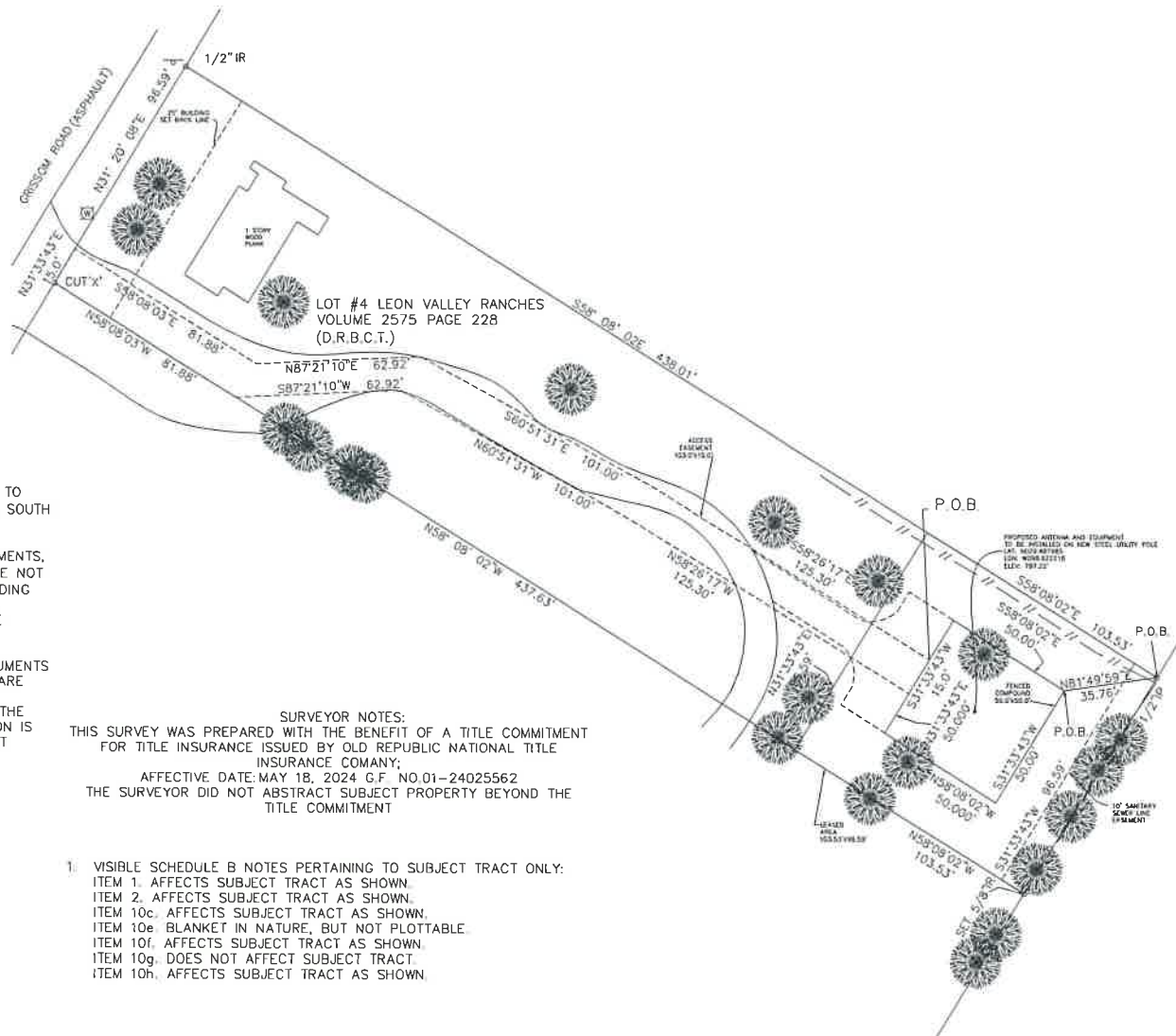
6004 GRISSOM RD
SAN ANTONIO, TX 78238
BEXAR COUNTY
29.488°, -98.622139°

SHEET TITLE
TITLE SHEET

SHEET NUMBER
T-1



LOCATION MAP
NOT TO SCALE



SURVEYOR NOTES:

1. ALL COORDINATES, BEARINGS AND DISTANCES ARE REFERENCED TO THE TEXAS COORDINATE SYSTEM OF 1983 (2011 ADJUSTMENT), SOUTH CENTRAL ZONE (4204), U.S. SURVEY FEET BASED ON GPS OBSERVATIONS MADE BY CIVIL CORE SURVEY.
2. UNDERGROUND UTILITY INSTALLATIONS, UNDERGROUND IMPROVEMENTS, FOUNDATIONS AND/OR OTHER UNDERGROUND STRUCTURES WERE NOT LOCATED BY THIS SURVEY. PLEASE CALL '811' BEFORE PROCEEDING WITH ANY TYPE DIGGING.
3. THE PURPOSE OF THIS SURVEY IS FOR USE IN OBTAINING TITLE INSURANCE AND FINANCING AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.
4. THERE MAY BE EASEMENTS, RIGHTS-OF-WAY OR OTHER INSTRUMENTS OF RECORD THAT MAY AFFECT THE SUBJECT PROPERTY THAT ARE NOT SHOWN HEREON.
5. SURVEY IS VALID ONLY IF IT HAS AN ORIGINAL SIGNATURE OF THE REGISTERED PROFESSIONAL LAND SURVEYOR ON IT. DECLARATION IS MADE TO THE ORIGINAL PURCHASER OF THIS SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

SURVEYOR'S CERTIFICATE

I, TOMMY Q. BURKS, A REGISTERED PROFESSIONAL LAND SURVEYOR DO HEREBY CERTIFY THAT THIS PLAT REPRESENTS AN ACTUAL SURVEY MADE ON THE GROUND UNDER MY DIRECT SUPERVISION ON XXX, AND SUBSTANTIALLY COMPLIES WITH THE MINIMUM STANDARDS FOR LAND SURVEYING IN TEXAS AS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THERE ARE NO PROTRUSIONS OR INTRUSIONS OR EVIDENCE OF VISIBLE EASEMENTS, EXCEPT AS SHOWN HEREON.

Tommy Q. Burks

TOMMY Q. BURKS
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 5509



DATE SIGNED

APRIL 05, 2025

SURVEYOR NOTES:
THIS SURVEY WAS PREPARED WITH THE BENEFIT OF A TITLE COMMITMENT FOR TITLE INSURANCE ISSUED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY;
AFFECTIVE DATE: MAY 18, 2024 G.F. NO.01-24025562
THE SURVEYOR DID NOT ABSTRACT SUBJECT PROPERTY BEYOND THE TITLE COMMITMENT

1. VISIBLE SCHEDULE B NOTES PERTAINING TO SUBJECT TRACT ONLY:
- ITEM 1. AFFECTS SUBJECT TRACT AS SHOWN.
 - ITEM 2. AFFECTS SUBJECT TRACT AS SHOWN.
 - ITEM 10c. AFFECTS SUBJECT TRACT AS SHOWN.
 - ITEM 10e. BLANKET IN NATURE, BUT NOT PLOTTABLE.
 - ITEM 10f. AFFECTS SUBJECT TRACT AS SHOWN.
 - ITEM 10g. DOES NOT AFFECT SUBJECT TRACT.
 - ITEM 10h. AFFECTS SUBJECT TRACT AS SHOWN.

WT GROUP
10000 Grissom Rd., Suite 200
San Antonio, TX 78230
P: 210.683.7000
F: 210.683.7001
WWW.WTGROUP.COM

WT Group

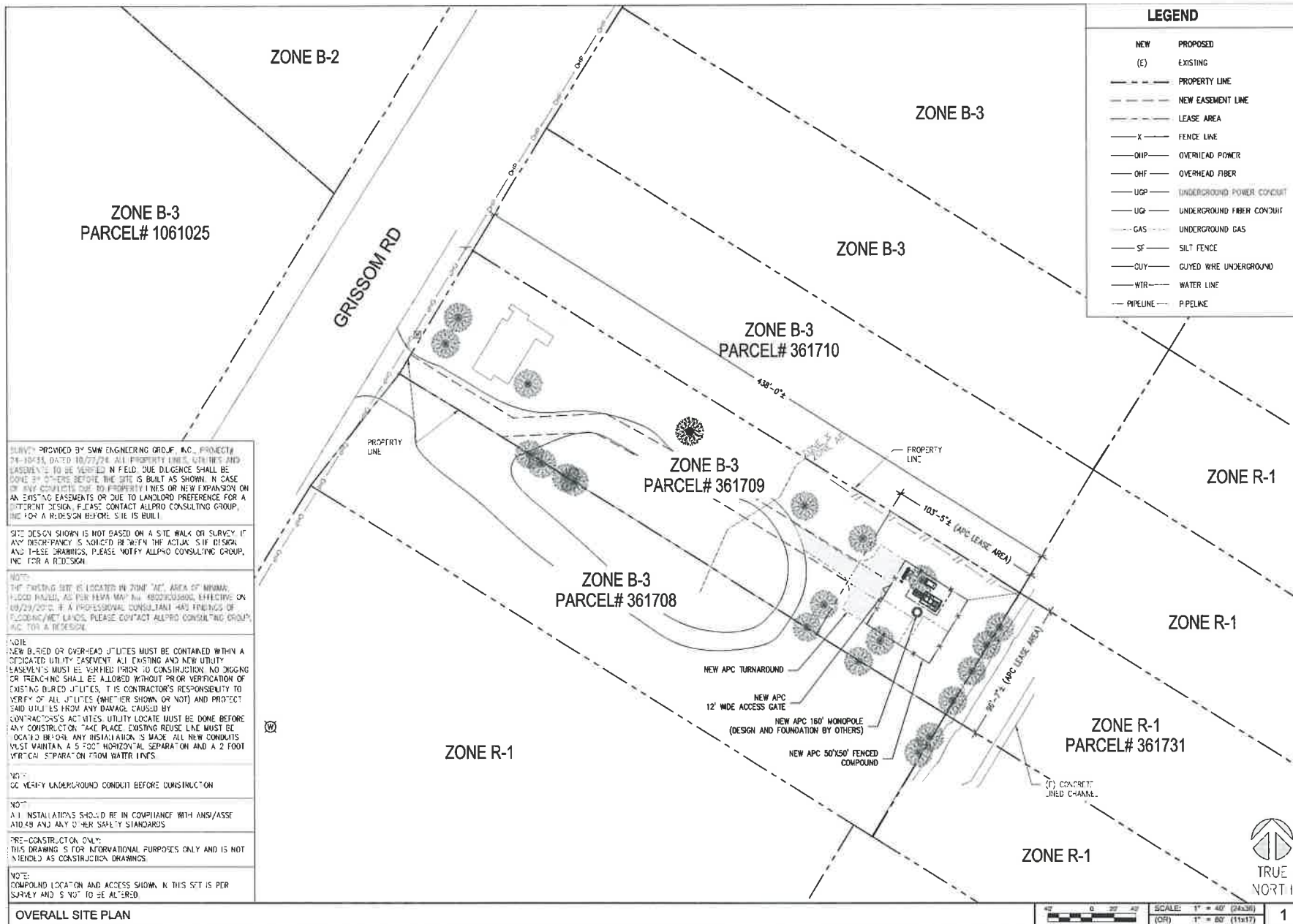
PROJECT LOCATION:
6000 GRISSOM RD.
SAN ANTONIO, TEXAS

BOUNDARY / TOPOGRAPHIC SURVEY
LOT 11 BLOCK 58 LIVE OAK VILLAGE UNIT
17-B BEAR COUNTY, TEXAS

LAND SURVEY - CIVIL
ISSUE
TO: DATE
CLIENT: 250525

Q:\BDC\REC
DRAWN: LW
JOB: 2025.0025A
SUR-1
SHEET 1 OF 1

JOB NO.U25-00034



verizon

600 HOOCH ROAD
IRVING, TX 75039

**ADC
Towers**

8601 S. K. FORKS RD.
SUITE 250
RAVIA, NC 27615

ADD ID: 25-0728

DRAWN BY: WZ

CHECKED BY: CZ

REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	08/24/25	ZONING DRAWING	WZ

ALLPRO
CONSULTING GROUP, INC.

9721 LYNDON B. JOHNSON Fwy
SUITE 204, DALLAS, TX 75243
PHONE: 972-231-5893
FAX: 866-364-8375
WWW.ALLPROCD.COM
FIRE NO. F-2143

**ZONING
PRELIMINARY**

5000203022
TX-1115 LEON CREEK

6004 GRISSOM RD
SAN ANTONIO, TX 78238
BEXAR COUNTY
29-488*, -98 622139*

**OVERALL
ZONING MAP**

SHEET TITLE
Z-1

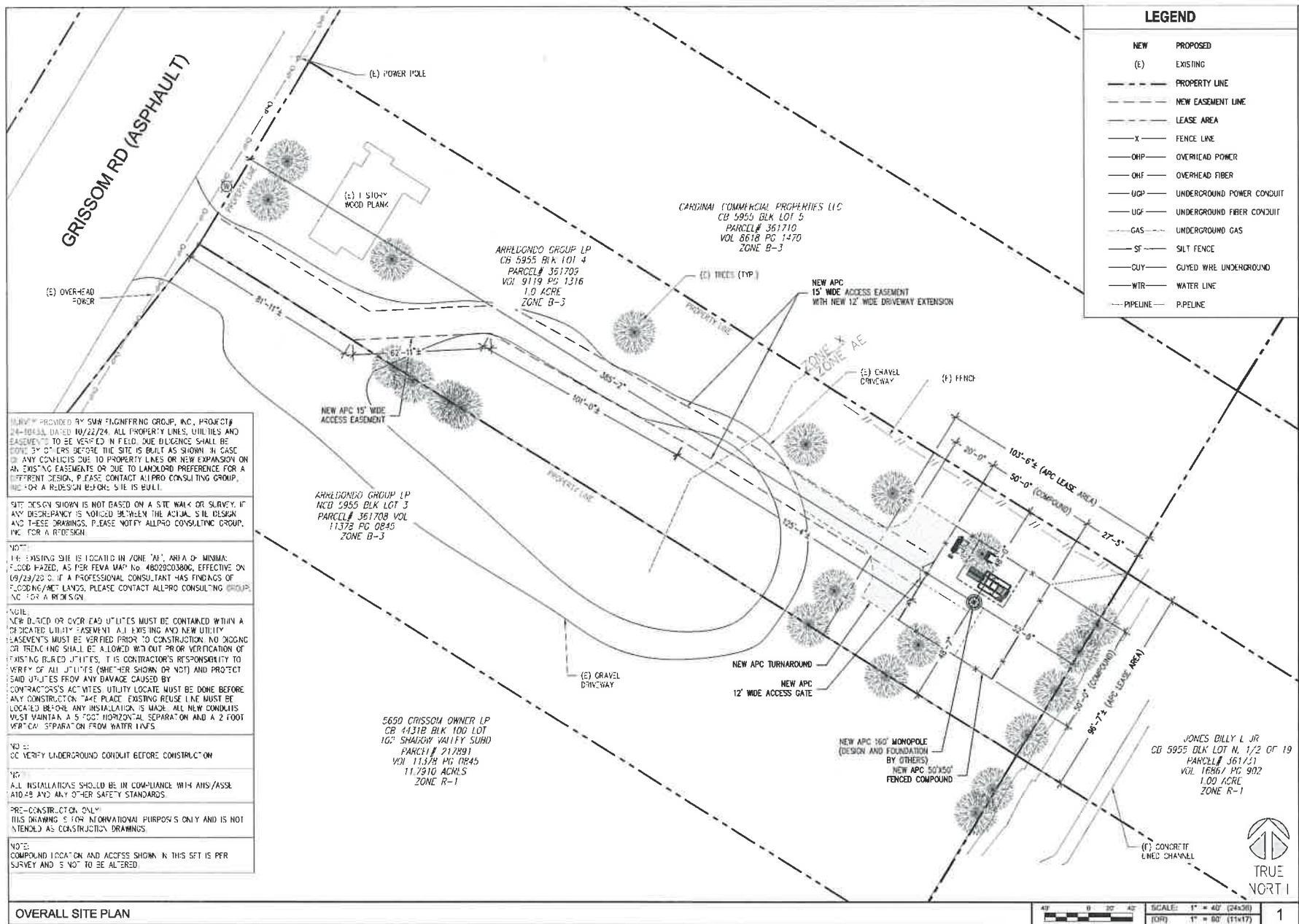
SHEET NUMBER

Z-1



SCALE: 1" = 40' (24x36)
(OR) 1" = 60' (11x17)

1



LEGEND	
NEW	PROPOSED
(E)	EXISTING
---	PROPERTY LINE
---	NEW EASEMENT LINE
---	LEASE AREA
X	FENCE LINE
OHF	OVERHEAD POWER
OHF	OVERHEAD FIBER
UGP	UNDERGROUND POWER CONDUIT
UGF	UNDERGROUND FIBER CONDUIT
GAS	UNDERGROUND GAS
SF	SILT FENCE
GUY	GUYED WIRE UNDERGROUND
WTR	WATER LINE
PIPELINE	P-PIPELINE

SURVEY PROVIDED BY SWH ENGINEERING GROUP, INC. PROJECT# 24-10433, DATED 10/22/24. ALL PROPERTY LINES, UTILITIES AND EASEMENTS TO BE VERIFIED IN FIELD. DUE DILIGENCE SHALL BE DONE BY OTHERS BEFORE THE SITE IS BUILT AS SHOWN. IN CASE OF ANY CONFLICTS DUE TO PROPERTY LINES OR NEW EXPANSION ON AN EXISTING EASEMENT OR DUE TO LANDLORD PREFERENCE FOR A DIFFERENT DESIGN, PLEASE CONTACT ALLPRO CONSULTING GROUP, INC. FOR A REDSIGN.

SITE DESIGN SHOWN IS NOT BASED ON A SITE WALK OR SURVEY. IF ANY DISCREPANCY IS NOTICED BETWEEN THE ACTUAL SITE DESIGN AND THESE DRAWINGS, PLEASE NOTIFY ALLPRO CONSULTING GROUP, INC. FOR A REDSIGN.

NOTE:
THE EXISTING SITE IS LOCATED IN ZONE "A1", AREA OF MINIMAL FLOOD HAZED, AS PER FEMA MAP No. 48029C03806, EFFECTIVE ON 09/29/2019. IF A PROFESSIONAL CONSULTANT HAS FINDINGS OF FLOODING/HIGH WINDS, PLEASE CONTACT ALLPRO CONSULTING GROUP, INC. FOR A REDSIGN.

NOTE:
NEW DUG OR OVERHEAD UTILITIES MUST BE CONTAINED WITHIN A DESIGNATED UTILITY EASEMENT. ALL EXISTING AND NEW UTILITY EASEMENTS MUST BE VERIFIED PRIOR TO CONSTRUCTION. NO DIGGING OR TRENCHING SHALL BE ALLOWED WITHOUT PRIOR VERIFICATION OF EXISTING BURIED UTILITIES. IT IS CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL UTILITIES (WHETHER SHOWN OR NOT) AND PROTECT SAID UTILITIES FROM ANY DAMAGE CAUSED BY CONTRACTOR'S ACTIVITIES. UTILITY LOCATE MUST BE DONE BEFORE ANY CONSTRUCTION TAKE PLACE. EXISTING REUSE LINE MUST BE LOCATED BEFORE ANY INSTALLATION IS MADE. ALL NEW CONDUITS MUST MAINTAIN A 5' FOOT HORIZONTAL SEPARATION AND A 2' FOOT VERTICAL SEPARATION FROM WATER LINES.

NO. 1:
DO NOT VERIFY UNDERGROUND CONDUIT BEFORE CONSTRUCTION.

NO. 2:
ALL INSTALLATIONS SHOULD BE IN COMPLIANCE WITH AHS/ASSE A10-48 AND ANY OTHER SAFETY STANDARDS.

PRE-CONSTRUCTION ONLY:
THIS DRAWING IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT INTENDED AS CONSTRUCTION DRAWINGS.

NOTE:
COMPOUND LOCATION AND ACCESS SHOWN IN THIS SET IS PER SURVEY AND IS NOT TO BE ALTERED.

OVERALL SITE PLAN

600 HIDDEN ROOT
IRVING, TX 75036

8607 318 FORTS RD.
DALLAS, TX 75243

ACQ. NO. 25-0729

DRAWN BY: WZ

CHECKED BY: CZ

NO.	DATE	DESCRIPTION	BY
1	10/14/25	ZONING DRAWING	WZ

9227 KENTON BLVD., SUITE 100, FRY
SAN ANTONIO, TEXAS 78243
PHONE: 972-231-8893
FAX: 972-231-8893
WWW.ALLPROCONSULTING.COM
TIN# NO. P-3342

ZONING
PRELIMINARY

5000203022
TX-1115 LEON CREEK

6004 GRISSOM RD
SAN ANTONIO, TX 78238
BEXAR COUNTY
29.488° -98.622139°

SHEET TITLE
OVERALL
SITE PLAN

SHEET NUMBER
Z-1A

LEGEND

- NEW PROPOSED
- (E) EXISTING
- - - - PROPERTY LINE
- - - - NEW EASEMENT LINE
- - - - LEASE AREA
- X- FENCE LINE
- O-P- OVERHEAD POWER
- O-F- OVERHEAD FIBER
- U-P- UNDERGROUND POWER CONDUIT
- U-G- UNDERGROUND FIBER CONDUIT
- GAS- UNDERGROUND GAS
- SF- SALT FENCE
- CJY- CLOVE WIRE UNDERGROUND
- WIR- WATER LINE
- PIPELINE PIPELINE

SURVEY: PERFORMED BY SHW ENGINEERING GROUP, INC., PROJECT NO. 10181, DATED 10/27/24. ALL PROPERTY LINES, UTILITIES AND EASEMENTS TO BE VERIFIED IN FIELD. OUR DESIGN SHALL BE DONE BY OTHERS BEFORE THE SITE IS BUILT AS SHOWN. IN CASE OF ANY CONFLICTS OUT TO PROPERTY LINES OR NEW EXPANSION ON AN EXISTING EASEMENT, OR DUE TO UNLAWFUL INTERFERENCE FOR A DIFFERENT DESIGN, PLEASE CONTACT ALLPRO CONSULTING GROUP, INC. FOR A REDESIGN BEFORE SITE IS BUILT.

NOTE: SITE DESIGN SHOWN IS NOT BASED ON A SITE WALK OR SURVEY. IF ANY DISCREPANCY IS NOTICED BETWEEN THE ACTUAL SITE DESIGN AND THESE DRAWINGS, PLEASE NOTIFY ALLPRO CONSULTING GROUP, INC. FOR A REDESIGN.

NOTES:

- THE EXISTING SITE IS LOCATED IN ZONE "M" AREA OF MINERAL PLAZA, AS PER PLMA MAP NO. 48029030006, EFFECTIVE ON 09/29/2012. IF A PROFESSIONAL CONSULTANT HAS FINDINGS OF FLOODHARVEST LANDS, PLEASE CONTACT ALLPRO CONSULTING GROUP, INC. FOR A REDESIGN.
- NEW BURIED OR OVERHEAD UTILITIES MUST BE CONTAINED WITHIN A DEDICATED UTILITY EASEMENT. ALL EXISTING AND NEW UTILITY EASEMENTS MUST BE VERIFIED PRIOR TO CONSTRUCTION. NO DIGGING OR TRENCHING SHALL BE ALLOWED WITHOUT PRIOR VERIFICATION OF EXISTING BURIED UTILITIES. IT IS CONTRACTOR'S RESPONSIBILITY TO VERIFY OF ALL UTILITIES (WET OR DRY, OR NOT) AND PROTECT SAID UTILITIES FROM ANY DAMAGE CAUSED BY CONTRACTOR'S ACTIVITIES. UTILITY LOCATE MUST BE DONE BEFORE ANY CONSTRUCTION TAKE PLACE. EXISTING REUSE LINE MUST BE LOCATED BEFORE ANY INSTALLATION IS MADE. ALL NEW CONDUITS MUST MAINTAIN A 5 FOOT HORIZONTAL SEPARATION AND A 2 FOOT VERTICAL SEPARATION FROM WATER LINES.
- VERIFY UNDERGROUND CONDUIT BEFORE CONSTRUCTION.
- ALL INSTALLATIONS SHOULD BE IN COMPLIANCE WITH ANSI/ASSE A10.8 AND ANY OTHER SAFETY STANDARDS.
- PRE-CONSTRUCTOR ONLY:
THIS DRAWING IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT INTENDED AS CONSTRUCTION DRAWINGS.
- NOTE:
COMPOUND LOCATION AND ACCESS SHOWN IN THIS SET IS PER SURVEY AND IS NOT TO BE ALTERED.

COMPONENT PLAN

103'-6" APC LEASE AREA

PROPERTY LINE

FENCE

NEW GRAVEL TURN AROUND

NEW APC COMMUNITY RACK

NEW VERIZON 20'x25' LEASE AREA WITH EQUIPMENT PAD

50'-0" APC FENCED COMPOUND

27'-6"

12'-6"

25'-0"

12'-6"

NEW 50'x50' FENCED COMPOUND

20'-0"

19'-0"

12'-0" GATE

15'-0"

15'-0" WIDE ACCESS/UTILITY EASEMENT

12'-0" WIDE ACCESS ROAD

96'-7" APC LEASE AREA

NEW APC 12' WIDE GRAVEL ACCESS DRIVEWAY

NEW APC 160' MONOPOLE (DESIGN AND FOUNDATION BY OTHERS)

25'-0" TOWER CENTER

25'-0" TOWER CENTER

FUTURE CARRIER LEASE AREA

FUTURE CARRIER LEASE AREA

50'-0" APC FENCED COMPOUND

PROPERTY LINE

TRUE NORTH

NO.	DATE	DESCRIPTION	BY
1	10/17/24	CADD DRAWING	ME

SCALE: 3/8" = 1'-0" (24x36)
(OR) 3/16" = 1'-0" (11x17)

2



ADD NO: 25-0728

DRAWN BY: WZ

CHECKED BY: C2

REVISIONS		
NO	DATE	DESCRIPTION
0	10/1/15	ZONING DRAWING



9221 LYNDON B JOHNSON Fwy
Suite 204, Dallas, TX 75243
Phone: 972-231-8893
Fax: 866-364-8375
www.allprocc.com
E-mail: E-2342

ZONING
PRELIMINARY

5000203022
TX-1115 LEON CREEK

6004 GRISSOM RD
SAN ANTONIO, TX 78238
BEXAR COUNTY
29.488°, -98.622139°

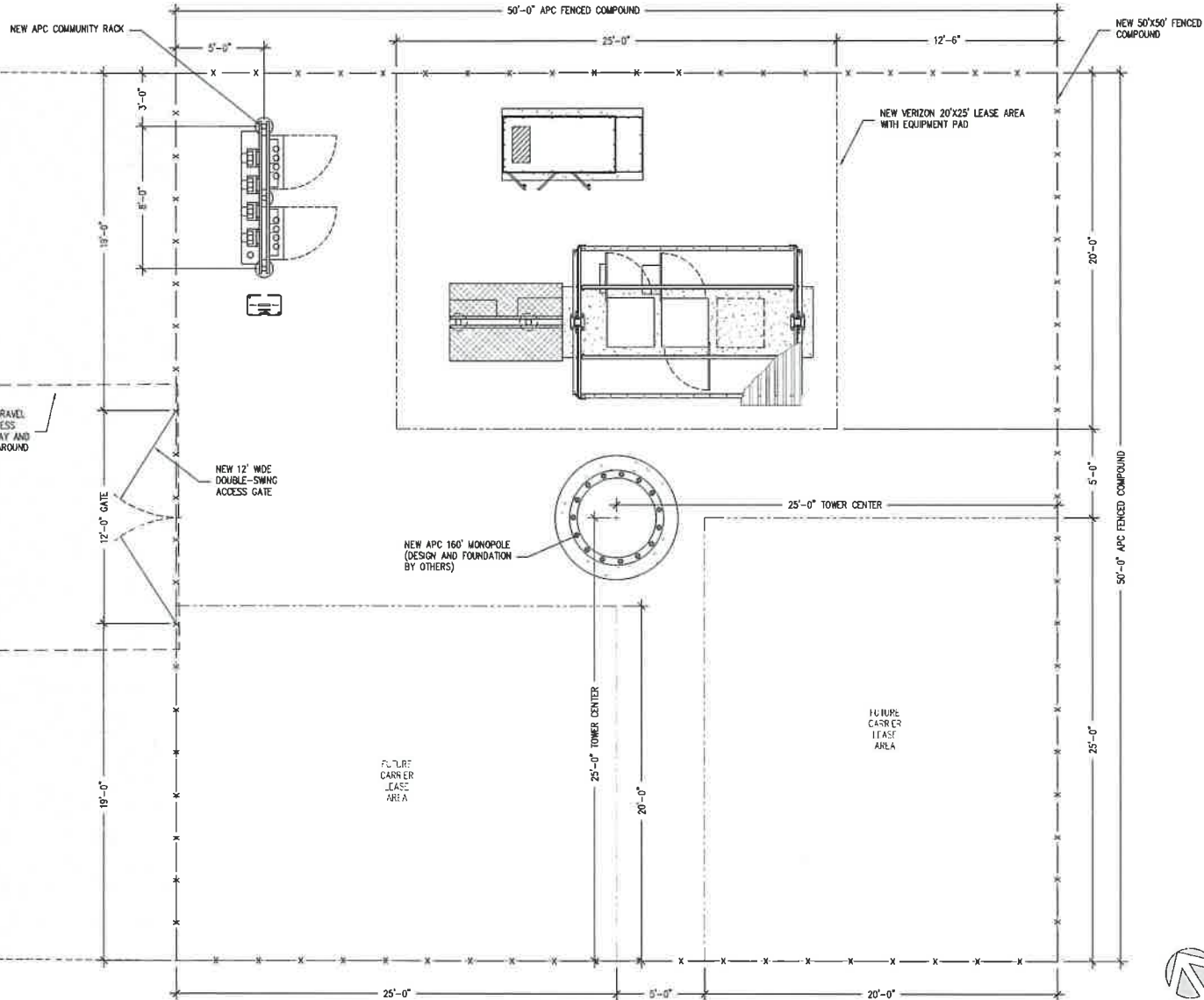
SHEET TITLE
ENLARGED
SITE PLAN

SHEET NUMBER

Z-2

LEGEND

NEW	PROPOSED
(E)	EXISTING
---	PROPERTY LINE
---	NEW EASEMENT LINE
---	LEASE AREA
X	FENCE LINE
OP	OVERHEAD POWER
OF	OVERHEAD FIBER
UP	UNDERGROUND POWER CONDUIT
UF	UNDERGROUND FIBER CONDUIT
GS	UNDERGROUND GAS
SF	SILT FENCE
CU	CULVERT UNDERGROUND
WR	WATER LINE
PI	PIPELINE



SURVEY PROVIDED BY SWR ENGINEERING GROUP, INC. PROJECT# 24-10-33, DATED 10/22/24. ALL PROPERTY LINES, UTILITIES AND EASEMENTS TO BE VERIFIED IN FIELD. DUE DILIGENCE SHALL BE DONE BY OTHERS BEFORE THE SITE IS BUILT AS SHOWN. IN CASE OF ANY CONFLICTS DUE TO PROPERTY LINES OR NEW EXPANSION ON AN EXISTING EASEMENT OR DUE TO LANDLORD PREFERENCE FOR A DIFFERENT DESIGN, PLEASE CONTACT ALLPRO CONSULTING GROUP, INC FOR A RE-DESIGN BEFORE SITE IS BUILT.

SITE DESIGN SHOWN IS NOT BASED ON A SITE WALK OR SURVEY. IF ANY DISCREPANCY IS NOTICED BETWEEN THE ACTUAL SITE DESIGN AND THESE DRAWINGS, PLEASE NOTIFY ALLPRO CONSULTING GROUP, INC FOR A RE-DESIGN.

NOTE: THE EXISTING SITE IS LOCATED IN ZONE "M", AREA OF MINIMA FLOOD HAZED, AS PER FEMA MAP No. 4802900300, EFFECTIVE ON 09/23/2020. IF A PROFESSIONAL CONSULTANT HAS FINDINGS OF FLOODING/WEI LANDS, PLEASE CONTACT ALLPRO CONSULTING GROUP, INC FOR A RE-DESIGN.

NOTE: NEW BURIED OR OVER-HEAD UTILITIES MUST BE CONTAINED WITHIN A DEDICATED UTILITY EASEMENT. ALL EXISTING AND NEW UTILITY EASEMENTS MUST BE LOCATED PRIOR TO CONSTRUCTION. NO DIGGING OR TRENCHING SHALL BE ALLOWED WITHOUT PRIOR VERIFICATION OF EXISTING BURIED UTILITIES. IT IS CONTRACTOR'S RESPONSIBILITY TO VERIFY OF ALL UTILITIES (WHETHER SHOWN OR NOT) AND PROTECT SAID UTILITIES FROM ANY DAMAGE CAUSED BY CONTRACTOR'S ACTIVITIES. UTILITY LOCATE MUST BE DONE BEFORE ANY CONSTRUCTION TAKE PLACE. EXISTING REUSE LANE MUST BE LOCATED BEFORE ANY INSTALLATION IS MADE. ALL NEW CONDUITS MUST MAINTAIN A 5 FOOT HORIZONTAL SEPARATION AND A 2 FOOT VERTICAL SEPARATION FROM WATER LINES.

NOTE: GC VERIFY UNDERGROUND CONDUIT BEFORE CONSTRUCTION.

NOTE: ALL INSTALLATIONS SHOULD BE IN COMPLIANCE WITH AHS/ASSE AND/OR ANY OTHER SAFETY STANDARDS.

PRE-CONSTRUCTION ONLY: THIS DRAWING IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT INTENDED AS CONSTRUCTION DRAWINGS.

NOTE: COMPOUND LOCATION AND ACCESS SHOWN IN THIS SET IS PER SURVEY AND IS NOT TO BE ALTERED.

COMPOUND PLAN

verizon

600 WOODHURST
IRVING, TX 75039

**APC
Towers**

8601 S K FORKS RD
SUITE 250
RAVING, TX 77615

ACGI NO: 25-0729

DRAWN BY: WZ

CHECKED BY: CZ

NO	DATE	REVISIONS	BY
0	08/11/25	ISSUING DRAWING	WZ

ALLPRO
CONSULTING GROUP, INC.

8771 LYNDEN BLVD SUITE 200
SOUTH TEXAS, TEXAS 75143
PHONE: 972-231-8843
FAX: 972-231-8843
WWW.ALLPROCONSULTING.COM
FIRM NO: F-20242

ZONING
PRELIMINARY

5000203022
TX-1115 LEON CREEK

6004 GRISSOM RD
SAN ANTONIO, TX 78238
BEXAR COUNTY
29.488° -98.622139°

SHEET TITLE
ENLARGED
SITE PLAN

SHEET NUMBER

Z-3



SCALE: 3/4" = 1'-0" (24x36)
(OR) 3/8" = 1'-0" (11x17)

2

TOWER DESIGN
IS PENDING BY OTHERS

STRUCTURAL ANALYSIS NOTE:

AN ANALYSIS OF THE TOWER OR STRUCTURE
IS PENDING BY OTHERS

MOUNT ANALYSIS NOTE (PMI REQUIREMENTS):
IS PENDING BY OTHERS

NO EQUIPMENT TO BE INSTALLED ON THE MOUNT WITHOUT
THE APPROVAL OF A STRUCTURAL ENGINEER.

NOTE:
PROPOSED ANTENNA PLACEMENT LOCATION TO BE FIELD
VERIFIED BY GENERAL CONTRACTOR PRIOR TO
CONSTRUCTION TO AVOID ANY INTERFERENCE OR
SHADOWING OF EXISTING ANTENNAS. IF INTERFERENCE OR
SHADOWING OF EXISTING ANTENNAS IS DISCOVERED DURING
FIELD VERIFICATION, PLEASE CONTACT ALLPRO CONSULTING
GROUP, INC. FOR DESIGN REVISION PRIOR TO ANY NEW
ANTENNA INSTALLATION.

NOTE:
ELEVATION PLAN IS MEANT TO DEPICT TOWER HEIGHT AND
IS NOT TO BE USED FOR CONSTRUCTION. FOR
CONSTRUCTION SEE TOWER DRAWINGS AND/OR STRUCTURAL
ANALYSES PREPARED BY OTHERS

NOTE:
CLIMBERS SHOULD NOT LATCH OR TIE THEIR SUPPORT LANYARD
OR CLARON TO ANTENNAS, RADIOS, ALL TYPES OF MOUNTS,
ETC. UNLESS APPROVED BY THE ORIGINAL DESIGN ENGINEER.
TIE-INS SHOULD ONLY BE TO BUILD SUPPORT LANYARDS OR CLARON
TO OR ATTACH TO TOWER STRUCTURAL MEMBERS THAT HAVE
VISIBLE BOLTING AND CONNECTION TO THE LARGER STRUCTURE.

NOTE:
THE LATEST ANTENNA DESIGNS TO BE REFERENCED
PRIOR TO TOWER WORK TO VERIFY THE LATEST EQUIPMENT
IS ACCOUNTED FOR.

NOTE:
PLATFORM/MOUNT DRAWING FOR REFERENCE ONLY.
MOUNT ANALYSIS BY OTHERS. NO NEW ANTENNAS OR
EQUIPMENT LOADS TO BE INSTALLED ON THE MOUNT
WITHOUT THE APPROVAL OF STRUCTURAL ENGINEER.

NOTE:
PRIOR TO ATTACHING ANTENNAS AND MOUNTING SECTIONS,
TOWER AND TOWER FOUNDATION MUST BE ANALYZED BY A
LICENSED STRUCTURAL ENGINEER TO VERIFY TOWER IS
CAPABLE OF SUPPORTING THE NEW LOADS. REFER TO
STRUCTURAL ANALYSIS BY OTHERS.

NOTE:
MOUNT TO BE PROVIDED BY TOWER MANUFACTURER CAPABLE TO
VERIFY

NOTES:
1. VERIFY AZIMUTHS WITH RFDS
2. 2' ANTENNA SEPARATION REQUIRED
3. CONTRACTOR TO MOVE (E) ANTENNAS TO ENDS OF
PLATFORM AS REQUIRED, WHEN APPLICABLE.
4. ROTATE SECTOR MOUNTS TO MATCH ANTENNA AZIMUTHS AS
NECESSARY

NOTE:
ALL INSTALLATIONS SHOULD BE IN COMPLIANCE WITH
ANSI/ASSA A10.48 AND ANY OTHER SAFETY STANDARDS.

TOP OF LIGHTING ROD
ELEV. @ 164'-0" ± AGL
TOP OF EXISTING TOWER
ELEV. @ 160'-0" ± AGL
CENTERLINE OF NEW VERIZON ANTENNAS
RAD CENTER @ 155'-0" ± AGL

NEW APC
160' MONOPOLE
(DESIGN AND FOUNDATION BY OTHERS)

NEW APC COMMUNITY RACK

NEW APC 50'X50' FENCED
COMPOUND

EXISTING FINISH GRADE
ELEV. @ 0'-0" AGL

ELEVATION - LOOKING NORTH

verizon

600 HIDDEN ROAD
IRVING, TX 75060

APC
Towers

1800' S & FOWNS RD.
SUITE 210
IRVING, TX 75060

ACG NO: 25-0729

DRAWN BY: W2

CHECKED BY: CZ

REVISIONS			
NO	DATE	DESCRIPTION	BY
0	08/14/25	ISSUING DRAWING	W2

ALLPRO
CONSULTING GROUP, INC.
2027 LYNDON B. JOHNSON FREE
WAY
SUITE 204, DALLAS, TX 75243
PHONE: 972-251-8882
FAX: 972-251-8883
WWW.ALLPROCG.COM
FIRM NO. F-8242

ZONING
PRELIMINARY

5000203022
TX-1115 LEON CREEK

6004 GRISSOM RD
SAN ANTONIO, TX 78238
BEXAR COUNTY
29.488°, -98.622139°

SHEET TITLE

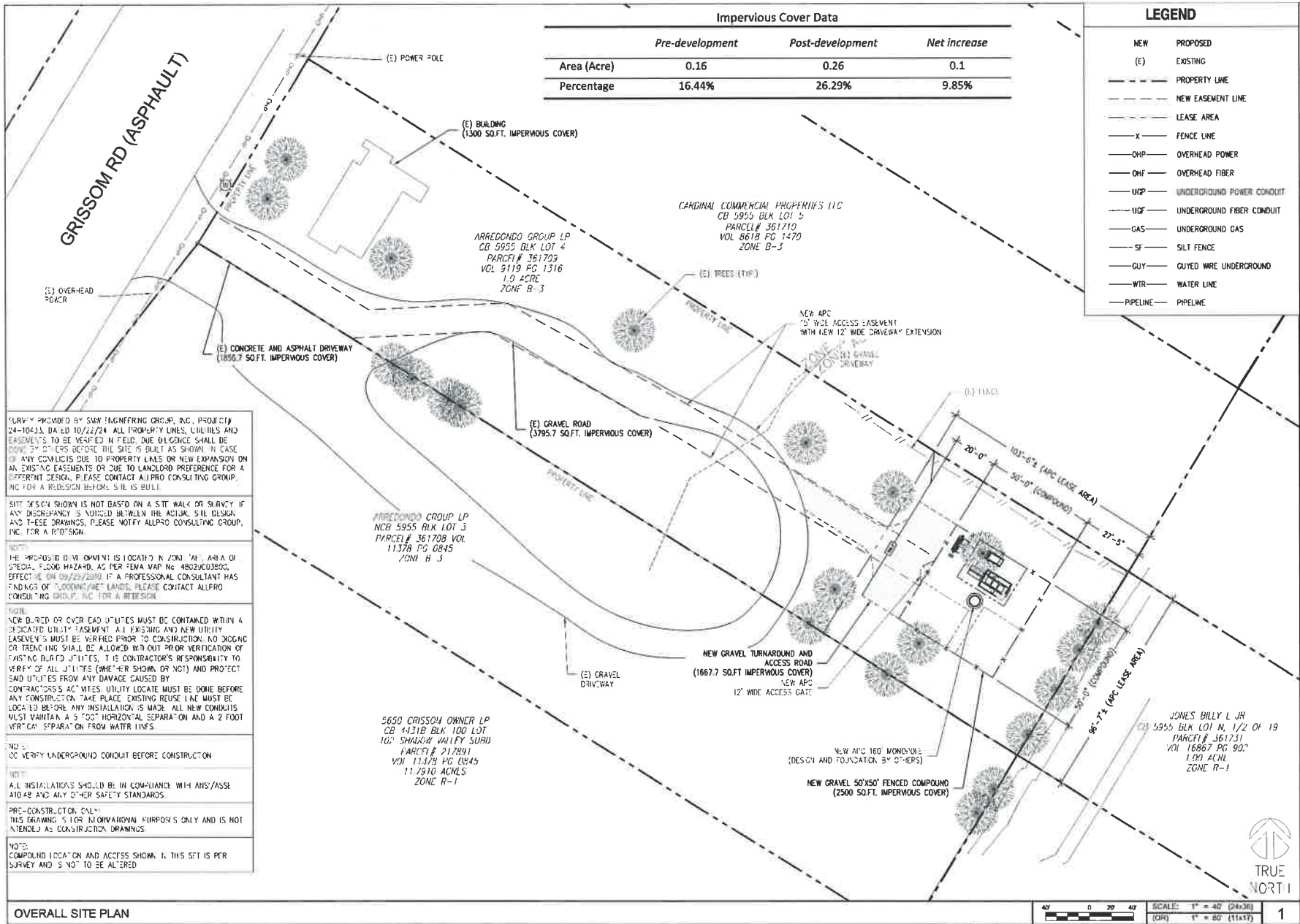
ELEVATION

SHEET NUMBER

Z-4

SCALE:
NTS

1



600 HIDDEN ROCE
IRVING, TX 75038

8001 SIX FORKS RD
SUITE 250
RALPH, NC 27615

ACC NO: 25-2385

DRAWN BY: TZ

CHECKED BY: CE

9221 LYNDON B JOHNSON FRY
SUITE 204, DALLAS, TX 75243
PHONE: 972-331-8893
FAX: 972-364-8375
WWW.ALLPROCD.COM
TXRN NO. T-5242

CHIEF OF ENGINEERING
128187
JULY 1, 2024
ALLPRO CONSULTING GROUP, INC.

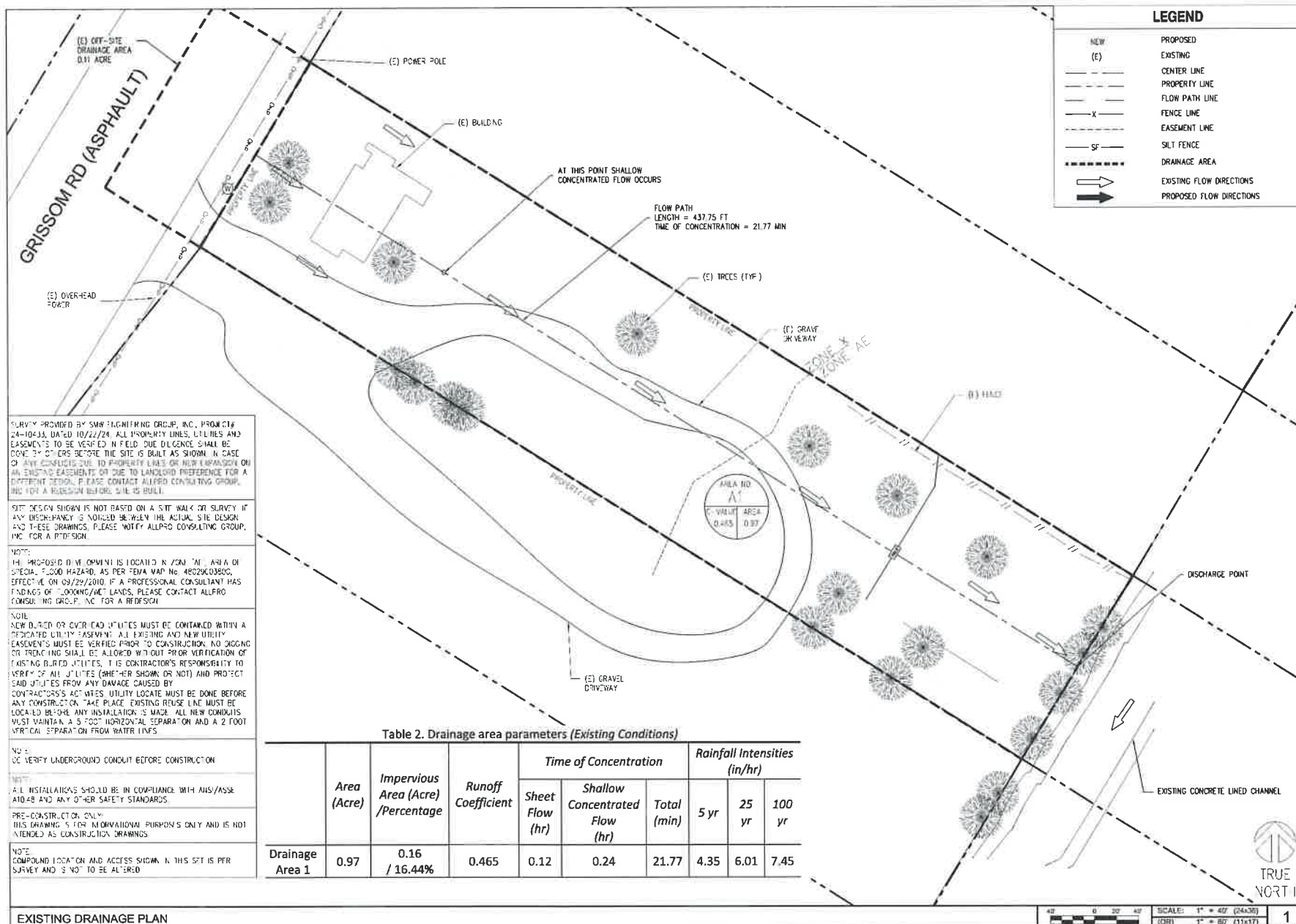
5000203022
TX-115 LEON CREEK

6000 GRISOM RD
SAN ANTONIO, TX 78238
BEXAR COUNTY

29.488° -98.622139°

SHEET TITLE
IMPERVIOUS COVER
EXHIBIT

SHEET NUMBER
C-3A



600 HIDDEN RIDGE
IRVING, TX 75038

8601 SX FORTS RD.
SUITE 250
RALPH, NC 27015

ACI NO: 25-2385

DRAWN BY: YZ

CHECKED BY: CZ

NO.	DATE	DESCRIPTION	BY
0	10/21/2024	DRAINAGE EXHIBIT	YZ

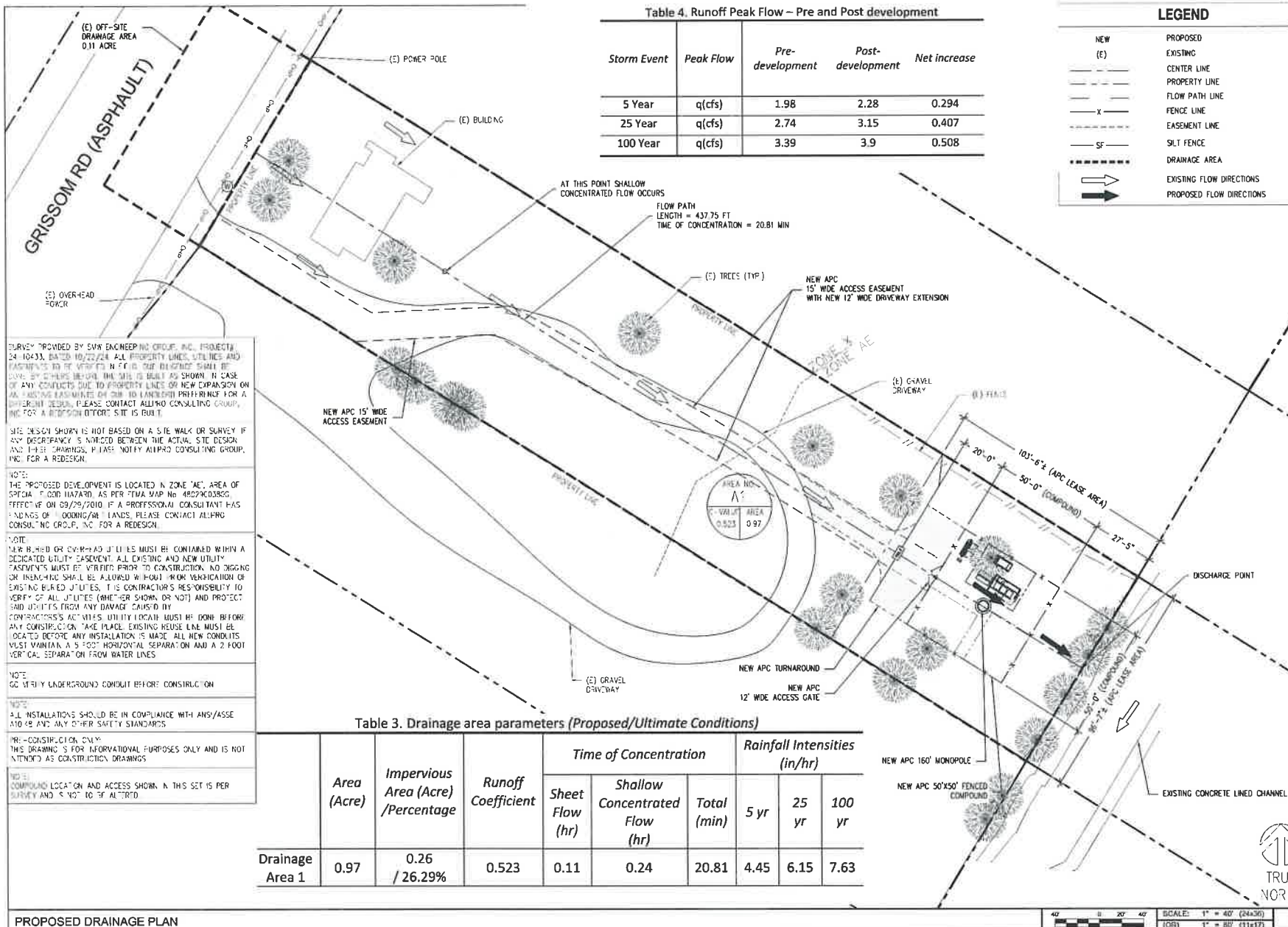
8221 LINDEN B. JORDON Fwy
SUITE 204, DALLAS, TX 75248
PHONE: 972-231-8893
FAX: 972-231-8895
WWW.ALLPRO.COM
FIRM NO. F-9042

5000203022
TX-1115 LEON CREEK

6000 GRISSOM RD
SAN ANTONIO, TX 78238
BEXAR COUNTY
29.488° - 98.622139°

SHEET TITLE
EXISTING DRAINAGE PLAN

SHEET NUMBER
C-3B



verizon

600 HIDDEN RIDGE
IRVING, TX 75038

APC
Towers

8801 SIX FORKS RD.
SUITE 210
RALEIGH, NC 27615

ACG NO: 25-2385

DRAWN BY: YZ

CHECKED BY: CZ

REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	08/20/24	DRAINAGE EXHIBIT	YZ

ALLPRO
CONSULTING GROUP, INC.

9721 LYNDON B. JOHNSON FRY
SUITE 204, DALLAS, TX 75243
PHONE: 972-251-0963
FAX: 972-344-8375
WWW.ALLPRO.COM
FIRM NO. F-0243



5000203022
TX-1115 LEON CREEK

6000 GRISSOM RD
SAN ANTONIO, TX 78238
BEXAR COUNTY
29.488° -98.622139°

SHEET TITLE
PROPOSED/ULTIMATE
DRAINAGE PLAN

SHEET NUMBER
C-3C



SCALE: 1" = 40' (24x36)
(OR) 1" = 80' (11x17)

1

LEGEND

NEW	PROPOSED
(E)	EXISTING
---	PROPERTY LINE
---	NEW EASEMENT LINE
---	LEASE AREA
---	FENCE LINE
---	OVERHEAD POWER
---	OVERHEAD FIBER
---	UNDERGROUND POWER CONDUIT
---	UNDERGROUND FIBER CONDUIT
---	GAS
---	SILT FENCE
---	CUT WIRE UNDERGROUND
---	WATER LINE
---	PIPELINE

NEW APC 12' WIDE GRAVEL ACCESS DRIVEWAY

SURVEY PROVIDED BY SWH ENGINEERING GROUP, INC. PROJECT# 24-10-133, DATED 10/27/24. ALL PROPERTY LINES, UTILITIES AND EASEMENTS TO BE VERIFIED IN FIELD. DUE DILIGENCE SHALL BE DONE BY OTHERS BEFORE THE SITE IS BUILT AS SHOWN. IN CASE OF ANY CONFLICTS DUE TO PROPERTY LINES OR NEW EXPANSION ON AN EXISTING EASEMENTS OR DUE TO LANDLORD PREFERENCE FOR A DIFFERENT DESIGN, PLEASE CONTACT ALLPRO CONSULTING GROUP, INC. FOR A REDSIGN BEFORE SITE IS BUILT.

SITE DESIGN SHOWN IS NOT BASED ON A SITE WALK OR SURVEY. IF ANY DISCREPANCY IS NOTICED BETWEEN THE ACTUAL SITE DESIGN AND THESE DRAWINGS, PLEASE NOTIFY ALLPRO CONSULTING GROUP, INC. FOR A REDSIGN.

NOTE: THE PROPOSED DEVELOPMENT IS LOCATED IN ZONE "A1" AREA OF SPECIAL FLOOD HAZARD, AS PER FEMA MAP NO. 48024C0300, EFFECTIVE ON 09/29/2010. IF A PROFESSIONAL CONSULTANT HAS FINDINGS OF FLOODING/HIGH WINDS, PLEASE CONTACT ALLPRO CONSULTING GROUP, INC. FOR A REDSIGN.

NOTE: NEW BURIED OR OVERHEAD UTILITIES MUST BE CONTAINED WITHIN A DEDICATED UTILITY EASEMENT. ALL EXISTING AND NEW UTILITY EASEMENTS MUST BE VERIFIED PRIOR TO CONSTRUCTION. NO DIGGING OR TRENCHING SHALL BE ALLOWED WITHOUT PRIOR VERIFICATION OF EXISTING BURIED UTILITIES. IT IS CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL UTILITIES (BOTH SHOWN OR NOT) AND PROTECT SAME UNTIL THEY HAVE ANY DAMAGE CAUSED BY CONTRACTOR'S ACTIVITIES. UTILITY LOCATE MUST BE DONE BEFORE ANY CONSTRUCTION TAKE PLACE. EXISTING REUSE LINE MUST BE LOCATED BEFORE ANY INSTALLATION IS MADE. ALL NEW CONDUITS MUST MAINTAIN A 3' TO 5' HORIZONTAL SEPARATION AND A 2' FOOT VERTICAL SEPARATION FROM WATER LINES.

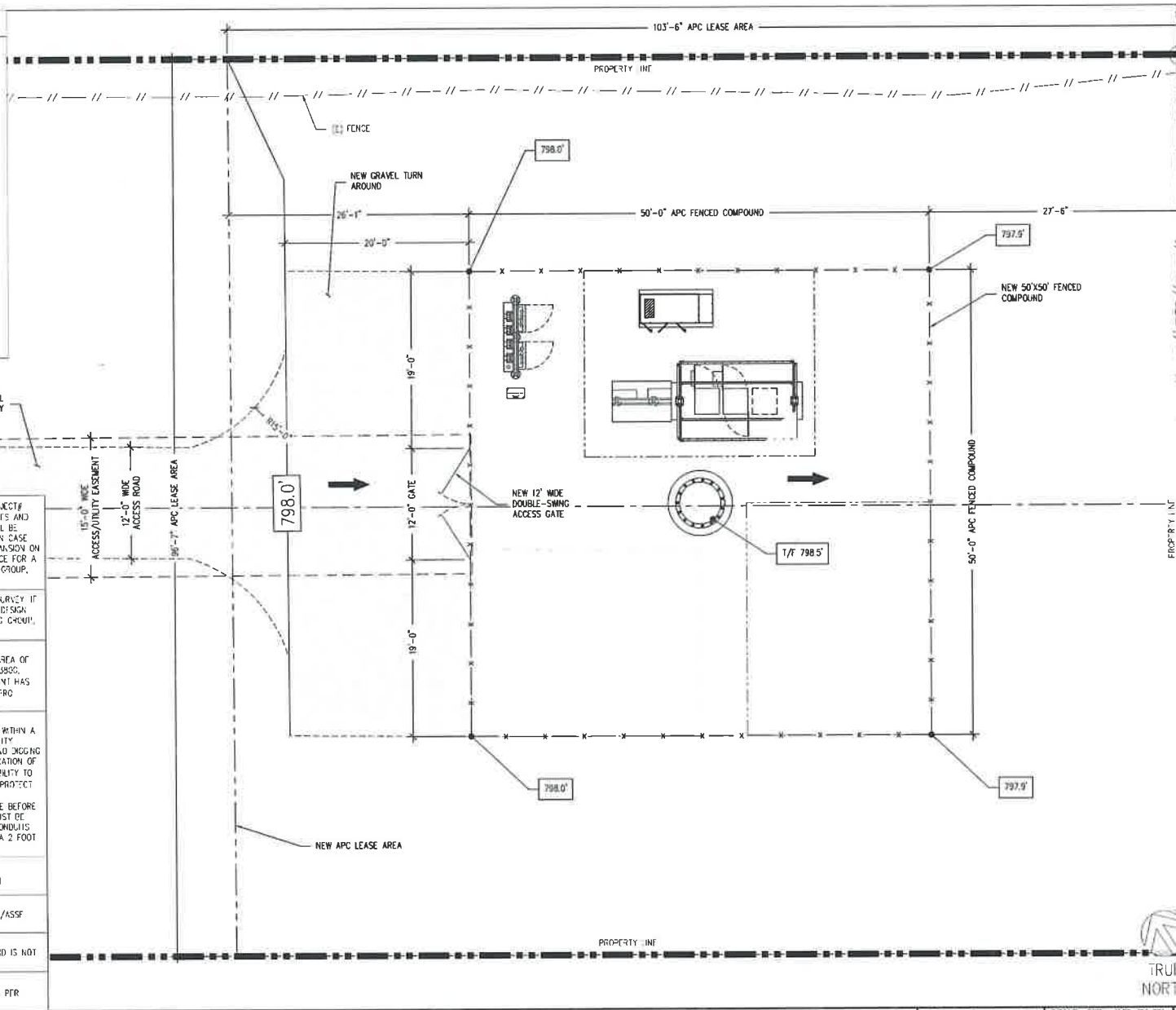
NOTE: CHECK UTILITY UNDERGROUND CONDUIT BEFORE CONSTRUCTION.

NOTE: ALL INSTALLATIONS SHOULD BE IN COMPLIANCE WITH AHS/ASSE STANDARDS AND ANY OTHER SAFETY STANDARDS.

PRE-CONSTRUCTION ONLY: THIS DRAWING IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT NEEDED AS CONSTRUCTION DRAWINGS.

NOTE: COMPOUND LOCATION AND ACCESS SHOWN IN THIS SET IS PER SURVEY AND IS NOT TO BE ALTERED.

GRADING PLAN



verizon

600 HODGEN RIDGE
IRVING, TX 75038

APC
Towers

3801 SW FOWNS RD.
SUITE 250
RALEIGH, NC 27615

ACQ NO: 25-2385

DRAWN BY: YZ

CHECKED BY: CZ

NO.	DATE	DESCRIPTION	BY
1	01/03/25	DRAINAGE EMBANK	YZ

ALLPRO
CONSULTING GROUP, INC.

9221 LYNDON B. JOHNSON FWY
SUITE 204, DALLAS, TX 75243
PHONE: 972-331-0003
FAX: 866-364-8375
WWW.ALLPROCO.COM
FIRM NO. F-8542



5000203022
TX-1115 LEON CREEK

6000 GRISCOM RD
SAN ANTONIO, TX 78238
BEXAR COUNTY
29.488°, -98.622139°

SHEET TITLE:
GRADING PLAN

SHEET NUMBER:
C-3D

SCALE: 3/16" = 1'-0" (24x36)
(OR) 3/16" = 1'-0" (11x17)

TRUE
NORTH