

AN ORDINANCE OF THE CITY OF LEON VALLEY, TX, CITY COUNCIL GRANTING A ZONE CHANGE FROM B-2 RETAIL DISTRICT, WITH GO, GATEWAY OVERLAY DISTRICT ZONING, TO PD, PLANNED DEVELOPMENT DISTRICT WITH B-2 RETAIL DISTRICT AND GO, GATEWAY OVERLAY DISTRICT BASE ZONING AT 7228 BANDERA ROAD; MORE SPECIFICALLY DESCRIBED AS LOT 3, WE CARE SHOPPING CENTER SUBDIVISION; PROVIDING FOR REPEALER, SEVERABILITY AND SAVINGS CLAUSES; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS Chapter 211 of the Vernon's Local Government Code empowers cities to enact zoning regulations and provide for their administration, enforcement, and amendment; and

WHEREAS the City has previously deemed it necessary and desirable to adopt zoning regulations to provide for the orderly development of property within the City, in order to promote the public health, safety, and welfare of the residents of the City; and

WHEREAS the Leon Valley Code of Ordinances Chapter 15 Zoning constitutes the City's Zoning regulations and requires property to be zoned in accordance with proper designations as defined by the City; and

WHEREAS the Planning and Zoning Commission of the City of Leon Valley provided adequate notice and held a public hearing in accordance with Chapter 15 of the Leon Valley Code of Ordinances; and

WHEREAS the Planning and Zoning Commission of the City of Leon Valley has recommended granting a zone change from B-2 Retail District, with GO, Gateway Overlay District Zoning, to PD, Planned Development District with B-2 Retail District and GO, Gateway Overlay District base zoning at the subject location; and

WHEREAS the City Council of the City of Leon Valley now desires to grant zone change, as recommended by the Planning and Zoning Commission on the subject property.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LEON VALLEY, THAT:

SECTION 1. The subject location - being specifically described as Lot 3, We Care Shopping Center Subdivision - shall hereafter bear the zoning classification of PD, Planned Development District with B-2 Retail District and SO, Sustainability Overlay District base zoning.

SECTION 2. In addition to the use standards of the B-2 District and the GO District, the property may also be used for multi-family development.

SECTION 3. Notwithstanding the requirements of the B-2 Retail District and the GO District, the property shall be developed in accordance with Exhibits A, B, and C, attached. In the event there is any conflict between the requirements of the B-2 District or GO District and the above-described Exhibits, the Exhibits shall prevail.

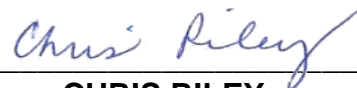
SECTION 4. This ordinance shall be cumulative of all provisions of the City of Leon Valley, Texas, except where provisions of this Ordinance are in direct conflict with the provisions of such Ordinance, in which event, conflicting provisions of such Ordinance are hereby repealed.

SECTION 5. It is hereby declared to be the intention of the City Council of the City of Leon Valley that this Ordinance is not severable.

SECTION 6. The ordinance shall be effective upon passage and publication as required by law.


PASSED, ADOPTED AND APPROVED by the City Council of the City of Leon Valley this the 2nd day of November 2021.

APPROVED



CHRIS RILEY
MAYOR

Attest :


SAUNDRA PASSAILAIGUE, TRMC
City Secretary



Approved as to Form: City Attorney



ROXANA PEREZ STEVENS
City Attorney

Exhibit A

REPAIRED BY THE COUNTY AT THE EXPENSE OF THE

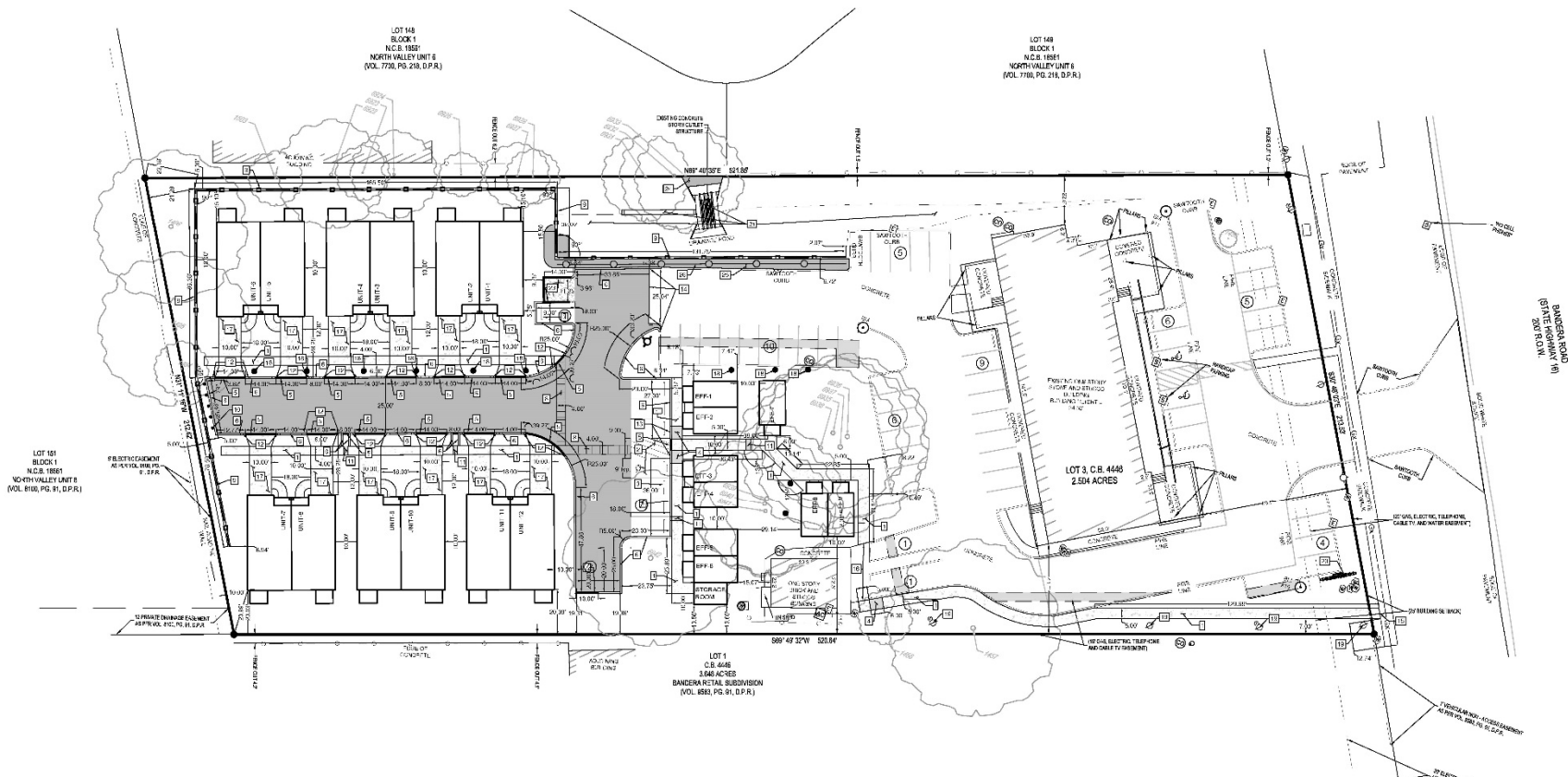
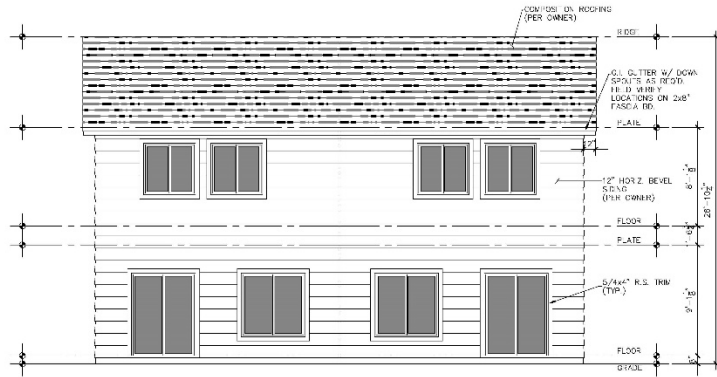


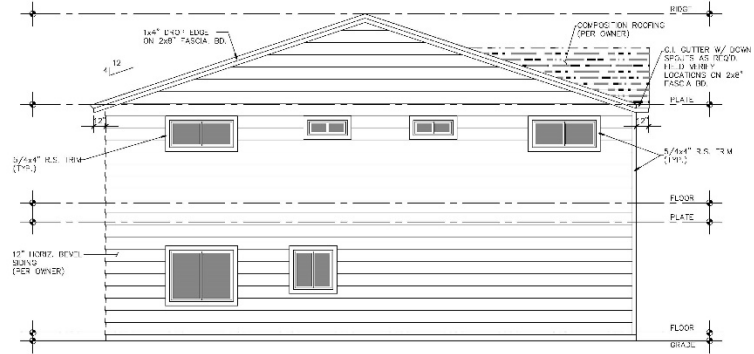
Exhibit B



Rear Elevation

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SCALE: 1/4"=1'-0"

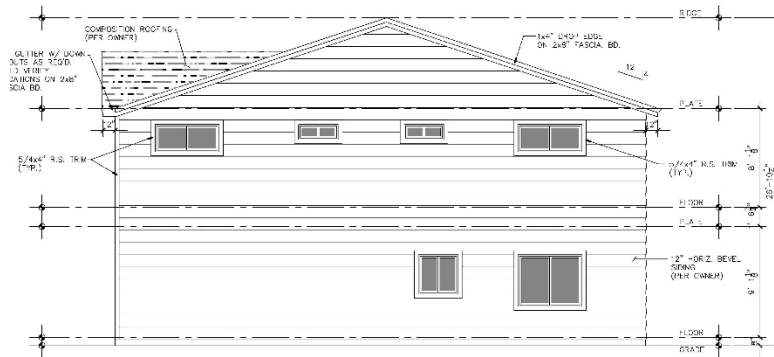


Left Side Elevation

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SCALE: 1/4"=1'-0"

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Right Side Elevation

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SCALE: 1/4"=1'-0"

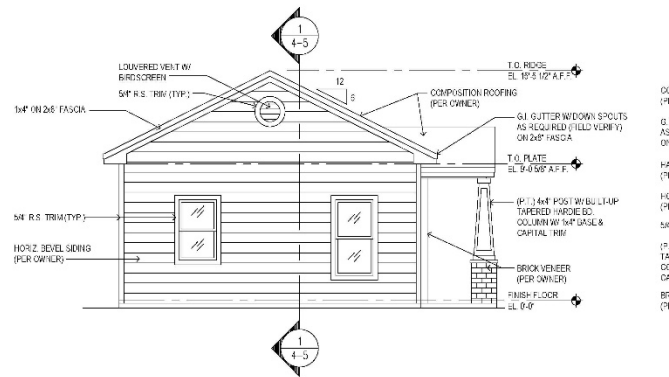


Front Elevation

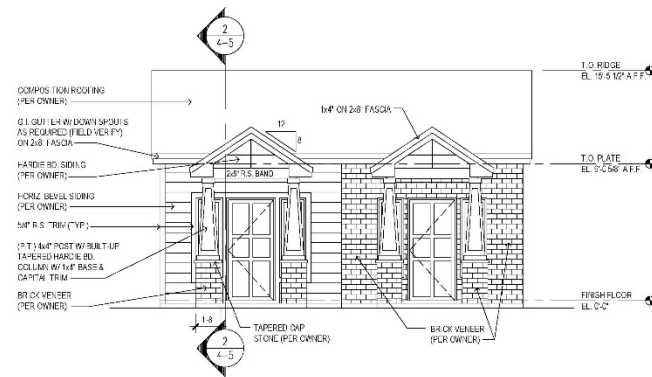
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SCALE: 1/4"=1'-0"

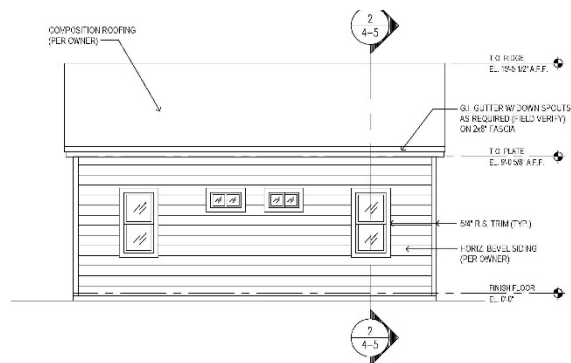
Exhibit C



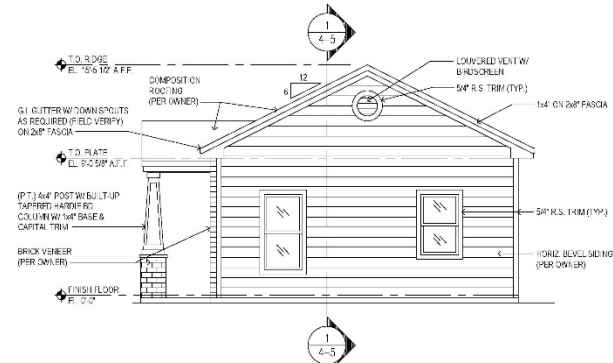
4 LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



3 REAR ELEVATION
SCALE: 1/4" = 1'-0"



2 RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"